

BUILDING DEPARTMENT
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WEST FARGO, ND 58078
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GUIDELINE FOR BUILDING ACCESSORY USE STRUCTURES

This handout is a guide only and does not contain all the requirements of the City of Mapleton Building Code or City Ordinance

Building Permits are required for all accessory use structures over 120 square feet in area and additions to accessory use structures that will result in a total area over 102 square feet. Examples of accessory use structure are, but not limited to, detached garages, tool and storage sheds, playhouses and gazebos. Separate permits are required for HVAC, Electrical and Plumbing work.

Building Permit Fees are based on the valuation of the construction project; this includes the materials and labor. If you will be doing the work yourself an estimate of labor cost shall be determined and included with the cost of materials.

Plan submittals shall be drawing to scale, neat and legible on suitable material. The plan submittal shall be of sufficient clarity to indicate the location, nature and extent of the work proposed.

Information required to be submitted along with your application for a building permit:

SITE PLAN – Drawing to scale shown lot dimensions, location and dimensions of both proposed and all existing buildings and distances from property lines to new building. Show location of all public ways and easements.

FOUNDATION PLAN – Show outside lines and dimensions of the foundation.
- Reinforcing type and layout.

FLOOR PLAN – Show outside lines and dimensions of the structure.
- Location and dimensions of interior walls.
- Size and location of doors and windows.
- Size of headers over openings.
- Size and spacing of wall studs.

EXTERIOR

ELEVATIONS – Show how the building will look.
- Show height of the building from grade to the highest point on the roof.
- Show the type of siding and roofing material used.

CROSS SECTIONS – Show a cut through view of the building.
- Show type, size and depth of footings and foundation walls.
- Show size and spacing of wall studs, wall sheathing type and type of siding.
- Show size and spacing of rafters and ceiling joists, type of roof sheathing and type of roof covering. If manufactured truss rafters are use, design and layout sheets must be submitted.
- Show roof pitch.

Allow 1-2 business days for review of your plans; you will be contacted when your plans have been approved. Any omissions in the application and/or plans will result in a delay of the approval.

BUILDING CONSTRUCTION GUIDELINES

1. **Setbacks** – Accessory use structures shall be located at least 5 feet from the side and rear lot lines.
2. **Building Size** – The area for an accessory use structure shall not be larger than 50% of the floor area of the principle structure. The maximum height for an accessory use structure is 15 feet in height or the height of the principle structure whichever is smaller. Larger accessory use structures may be conditionally permitted in some residential zoning districts.
3. **Foundation** – The foundation for an accessory use structure may be a slab on grade with turned-down footings. Concrete having a 3500 pound strength and air entrainment should be specified. Concrete slabs must be a minimum thickness of 3 ½ inches. The perimeter of the slab shall be 12 inches thick for an 8 inch to 12 inch width. Within the thickened perimeter of the slab, two #4 rebar should be installed to be continuous around the perimeter. If the slab rests on fill, it should be reinforced with #4 rebar 2 feet on center or 6 inch X 6 inch welded wire mesh.
4. **Walls** – Bottom plate shall be treated or foundation grade redwood anchored by approved foundation anchor straps or ½ inch X 10 inch bolts embedded into the concrete, with a washer and nut spaced not more than 6 feet on center and within 12 inches of each end and splice. Minimum of two per plate.
 - Wall studs shall be a minimum 2 X 4 and space maximum 24 inches on center, with three wall studs at each exterior corner.
 - Wall studs shall be capped with double top plates overlapped at corners and end joints offset at least 24 inches.
 - Structural wall sheathing is recommended. If structural wall sheathing is not used approved corner bracing shall be used and must be attached to wall studs and plates at all corners.
 - Structural wall sheathing panels are required a minimum of 4 feet from corners and adjacent to overhead door openings.
 - The exterior wall covering must be of an approved material that is resistive such as siding, stucco, brick, etc.
 - Headers must have at least one trimmer stud under each end. Headers over 6 feet shall have a minimum of two trimmer studs under each end. Headers over doors and windows must be of the follow minimum sizes for walls bearing roofs:

For opening:	Minimum header size:	Grade of wood:
6 foot opening	2 – 2 X 10	#2 SPF or #2 HF
8 foot opening	3 – 3 X 10	#2 HF

Headers for openings greater than 8 feet shall be approved by the Building Department.
(Consider pre-engineered laminated veneer lumbers for openings greater than 6 feet.)

5. **Roofs** – Manufactured roof trusses are highly recommended. If hand framed rafters are used, the size of the rafter is determined by the span and spacing of the rafter. Lumber used in construction of rafters must be at least 2 X 4 in dimension. Roof sheathing must be of approved span rated sheathing.
 - Specify the type of roof covering to be used (i.e. wood shingles, asphalt shingles, etc.) including underlayment and ice dam protection at eaves.

All residential construction shall meet the minimum requirements of the City of Mapleton Building Code.

REQUIRED INSPECTIONS

1. **Site/Footing** – to approve accessory structure location and footing prior to pouring concrete.
2. **Framing** – after completion of structural frame, sheathing and roof to the building frame, and prior to covering the structural frame. All Electrical, HVAC, and Plumbing shall be installed and inspected before calling for framing inspection.
3. **Final** – when accessory structure is completed and prior to occupying.

It shall be the responsibility of the permit holder to notify the Building Department when work is ready to be inspected. No work shall commence until the inspection is complete and approved.

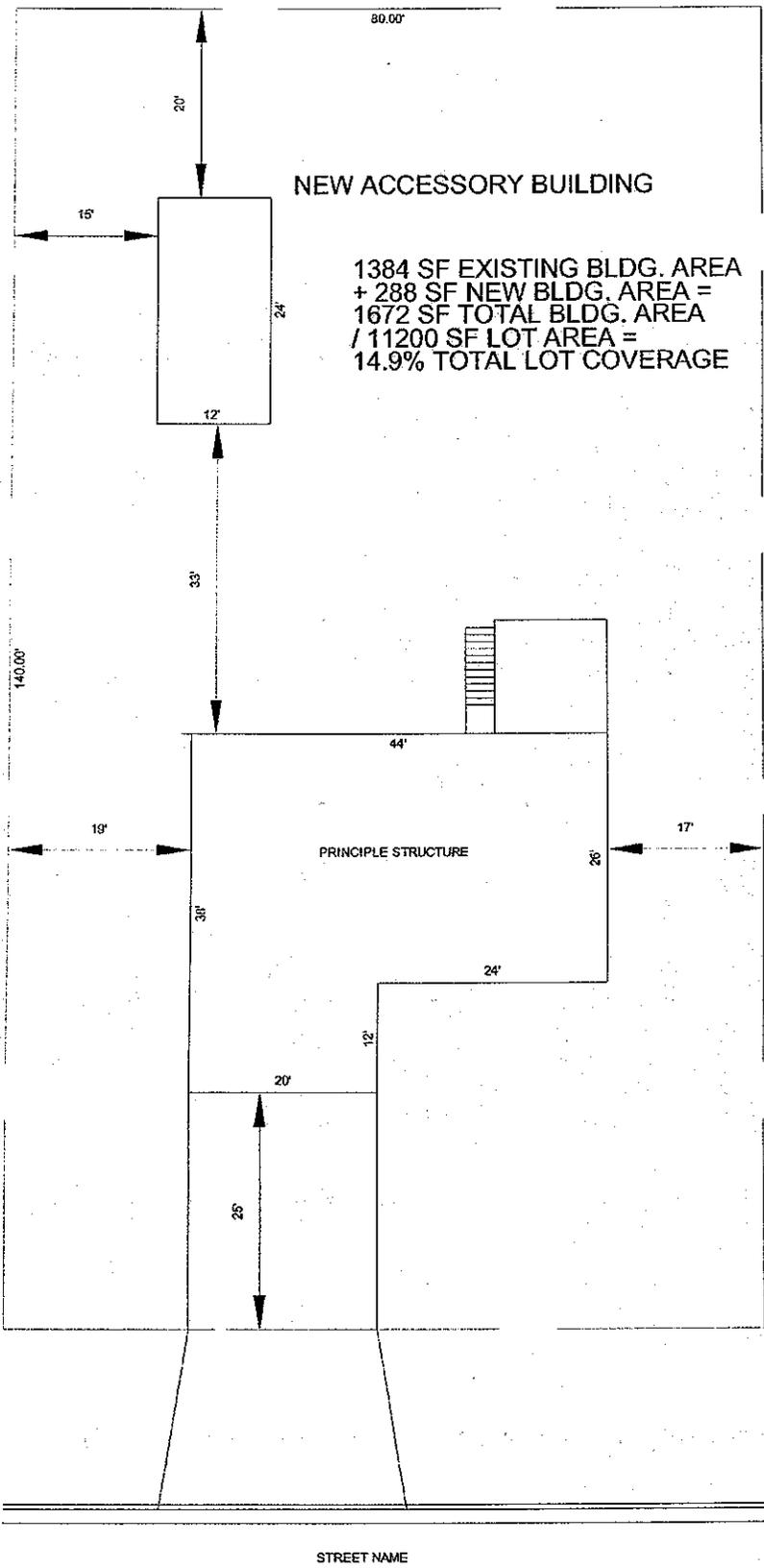
Mapleton Zoning Information

RESIDENTIAL PRINCIPLE STRUCTURE	MINIMUM SETBACKS (FT.)			MAXIMUM LOT COVERAGE (%)	MAXIMUM HEIGHT (FT.)	MINIMUM BUILDING AREA (SF)
	FRONT YARD	REAR YARD	SIDE YARD			
	ZONING DISTRICT					
A - AGRICULTURE						
FARM USE	50	50	25	NR	2½ Stories / 35 Ft.	NR
NON-FARM USE	50	50	25	NR	2½ Stories / 35 Ft.	NR
R - 1 LARGE LOT RESIDENTIAL DISTRICT						
ONE-FAMILY	25	25	12	50	2½ Stories / 35 Ft.	1500
R - 2 LOW DENSITY RESIDENTIAL DISTRICT						
ONE-FAMILY	25	25	12	50	2½ Stories / 35 Ft.	1500
R - 3 MEDIUM DENSITY RESIDENTIAL DISTRICT						
ONE-FAMILY	25	25	8	50	2½ Stories / 35 Ft.	900
TWO-FAMILY	25	25	8	50	2½ Stories / 35 Ft.	NR
TOWNHOMES	25	25	8	50	2½ Stories / 35 Ft.	NR
R - 4 TOWN HOUSE AND SMALL APARTMENT RESIDENTIAL DISTRICT						
TWO-FAMILY	25	25	8	NR	2½ Stories / 35 Ft.	NR
TOWNHOMES	25	25	8	NR	2½ Stories / 35 Ft.	NR
R - 5 MULTIPLE FAMILY RESIDENTIAL DISTRICT						
MULTIPLE DWELLING OF TWO TO FOUR UNITS	25	30	8	50	2½ Stories / 45 Ft.	NR
MULTIPLE DWELLINGS	25	25	10	50	3 Stories / 45 Ft.	NR

NR – Not regulated by the Land Development Code and shall be subject to approval by the Mapleton Planning and Zoning Committee and the Mapleton City Council.

To determine your property zoning district refer to the Zoning Map or contact the Mapleton Building Department at 281-0597 or the Mapleton Auditor's office at 282-6992.

The following sheets are only provided as reference to assist you in drafting your plans for your deck.



80.00'

NEW ACCESSORY BUILDING

1384 SF EXISTING BLDG. AREA
 + 288 SF NEW BLDG. AREA =
 1672 SF TOTAL BLDG. AREA
 / 11200 SF LOT AREA =
 14.9% TOTAL LOT COVERAGE



SHOW ON SITE PLAN

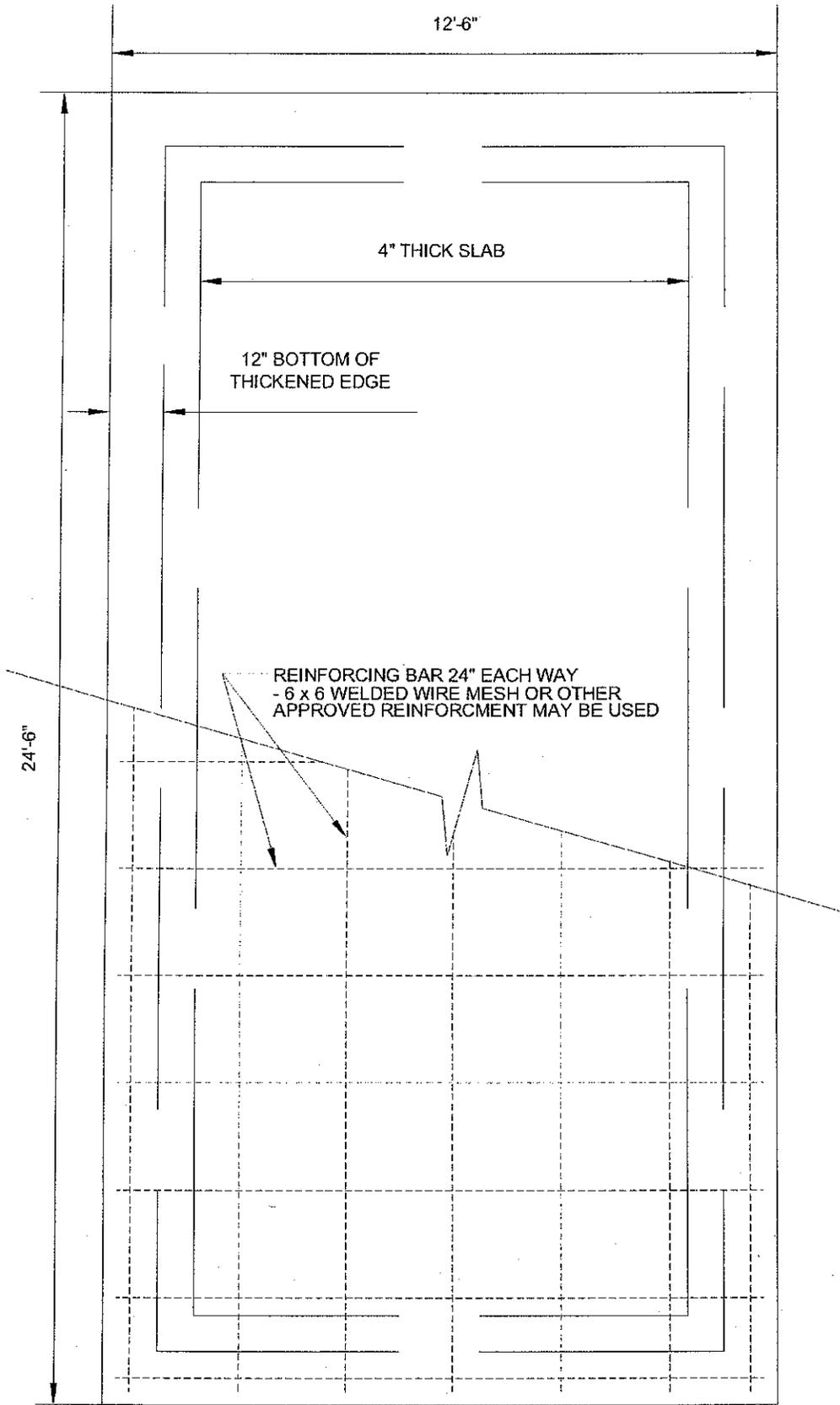
- Lot Lines
 - Lot Dimensions
 - Street Name(s)
 - Address
 - Owner Name
 - All Existing Structure
 - Pond/Lake/Stream
 - Driveway
 - Location of New Structure
 - New Structure Distances to Lot Lines
 - Distances to Other Structures
 - Easements
- Note: if Site Plan is not complete, the review process will be delayed

STREET NAME

City of Mapleton, North Dakota

TYPICAL ACCESSORY USE STRUCTURE
 SITE PLAN

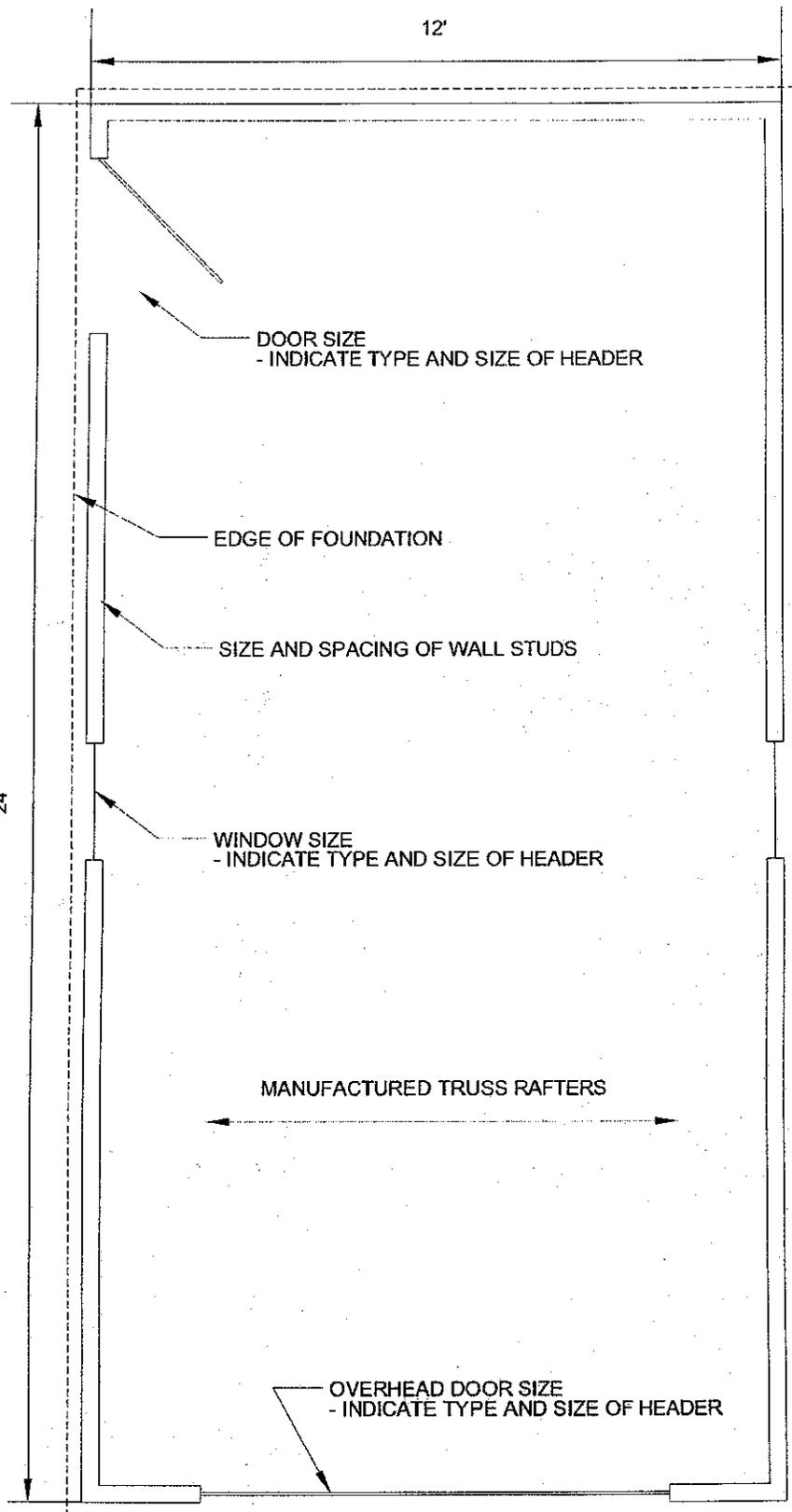
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City of Mapleton, North Dakota

TYPICAL ACCESSORY USE STRUCTURE
FOUNDATION PLAN

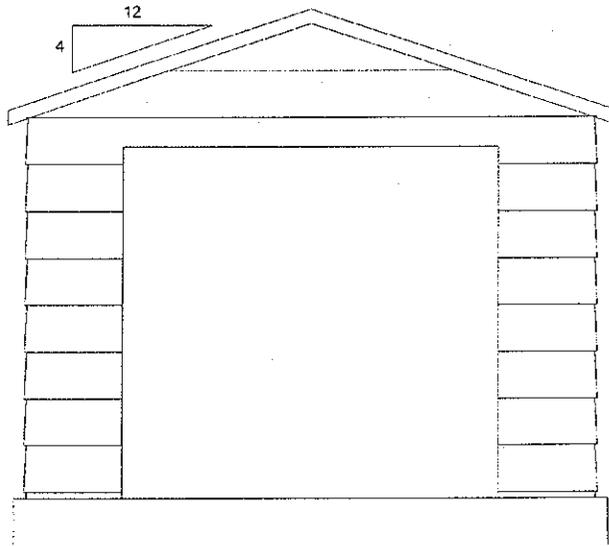
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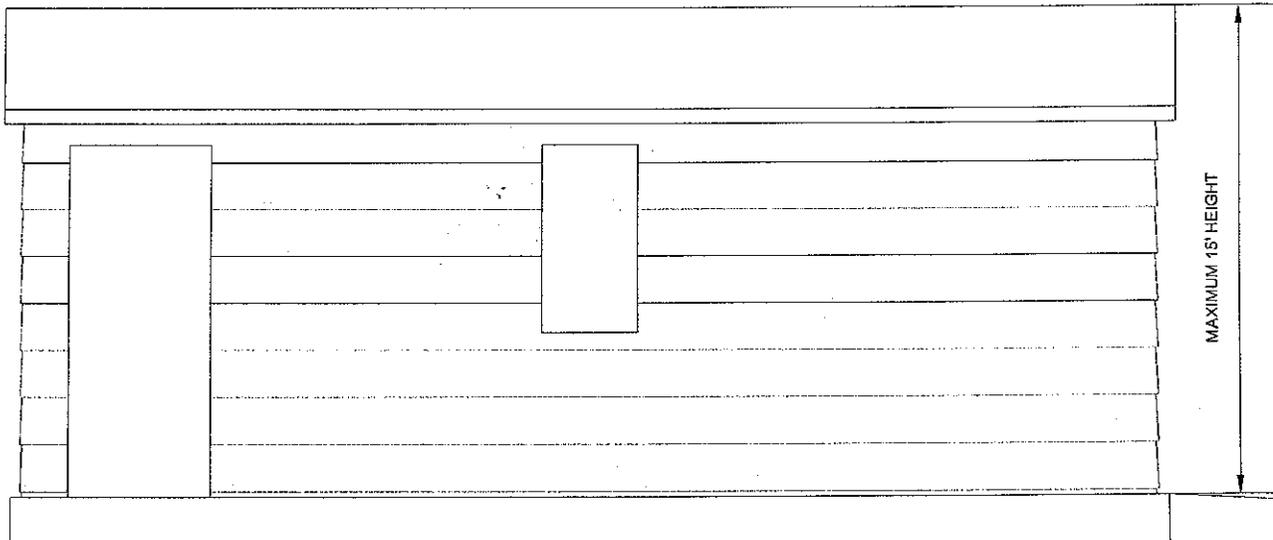
City of Mapleton, North Dakota

TYPICAL ACCESSORY USE STRUCTURE
FLOOR PLAN

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SOUTH ELEVATION

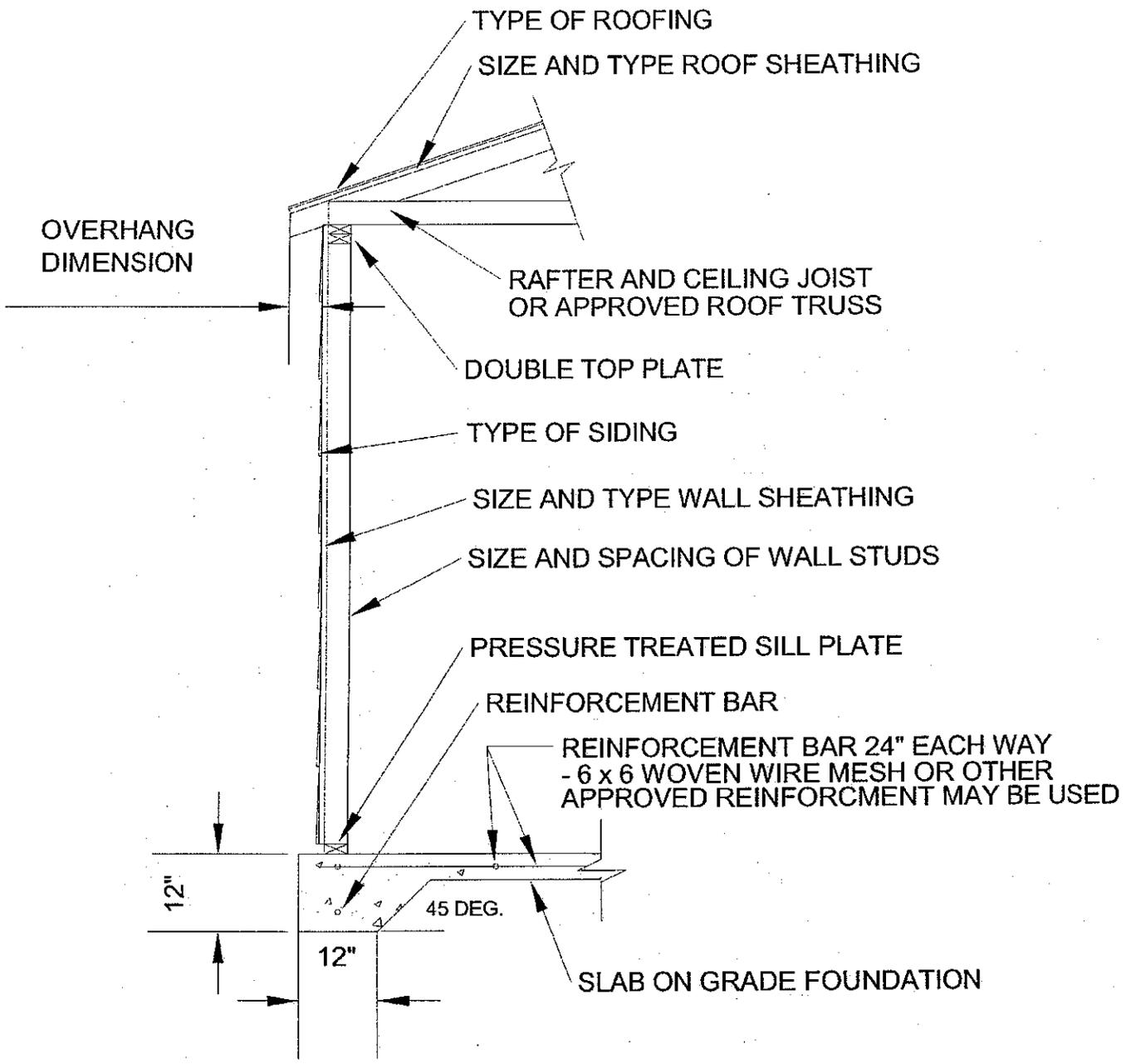


WEST ELEVATION

City of Mapleton, North Dakota

TYPICAL ACCESSORY USE STRUCTURE
ELEVATIONS

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City of Mapleton, North Dakota

TYPICAL ACCESSORY USE STRUCTURE
WALL SECTION DETAIL

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